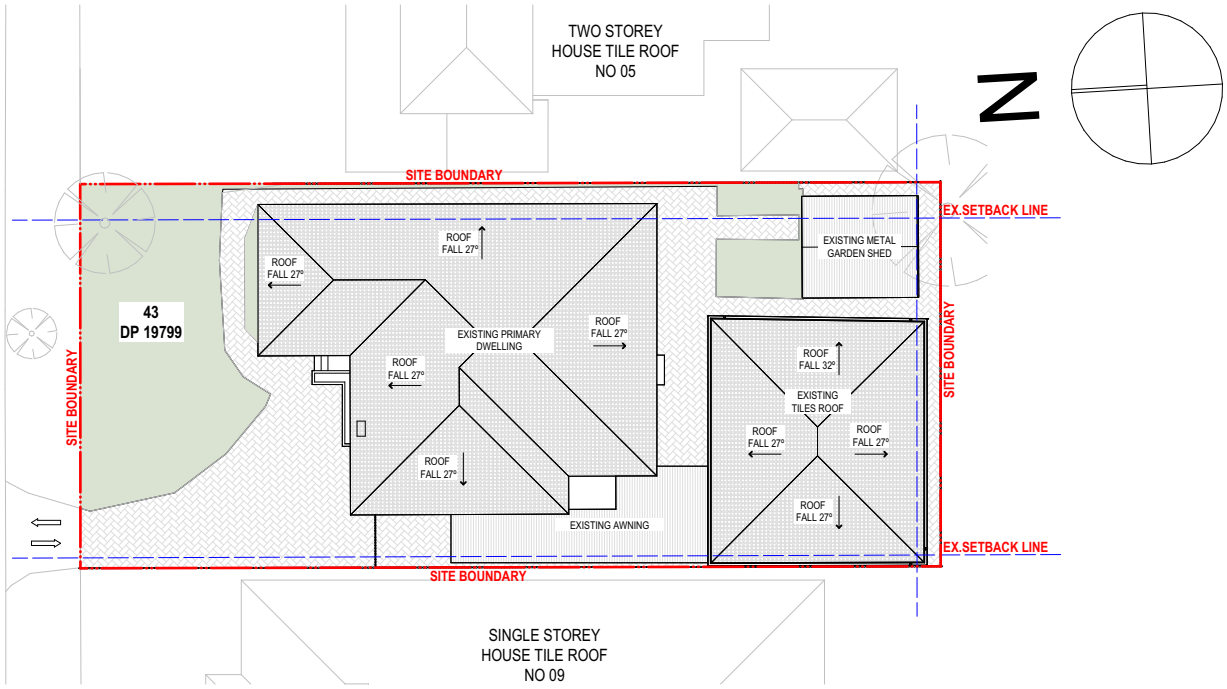
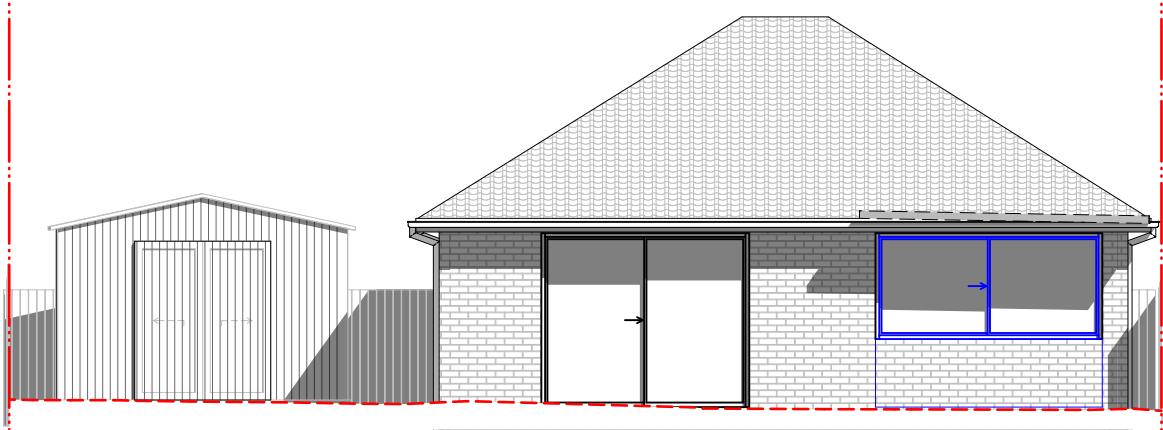




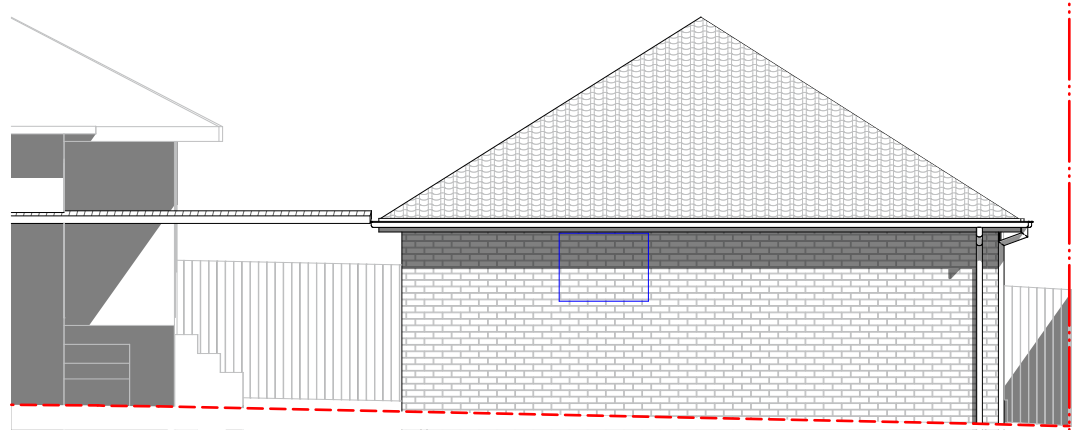
PERSPECTIVE



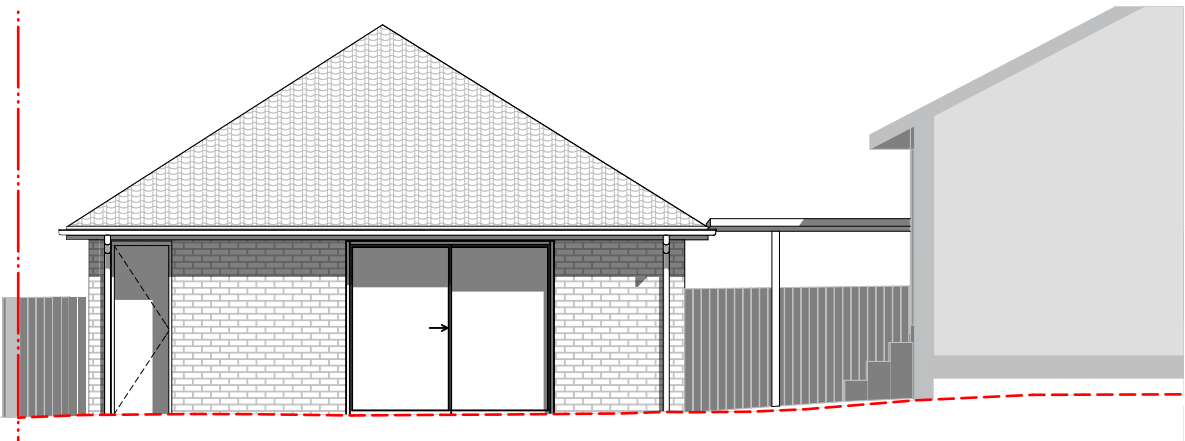
SITE PLAN



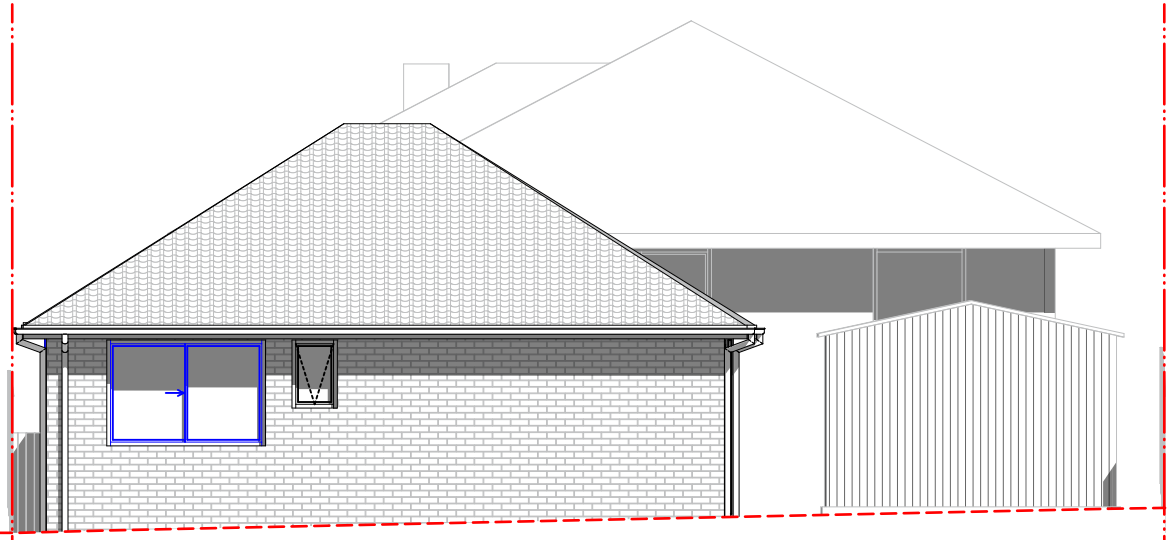
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

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CLIENT

Project Title
PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title
GENERAL
Notification Plan

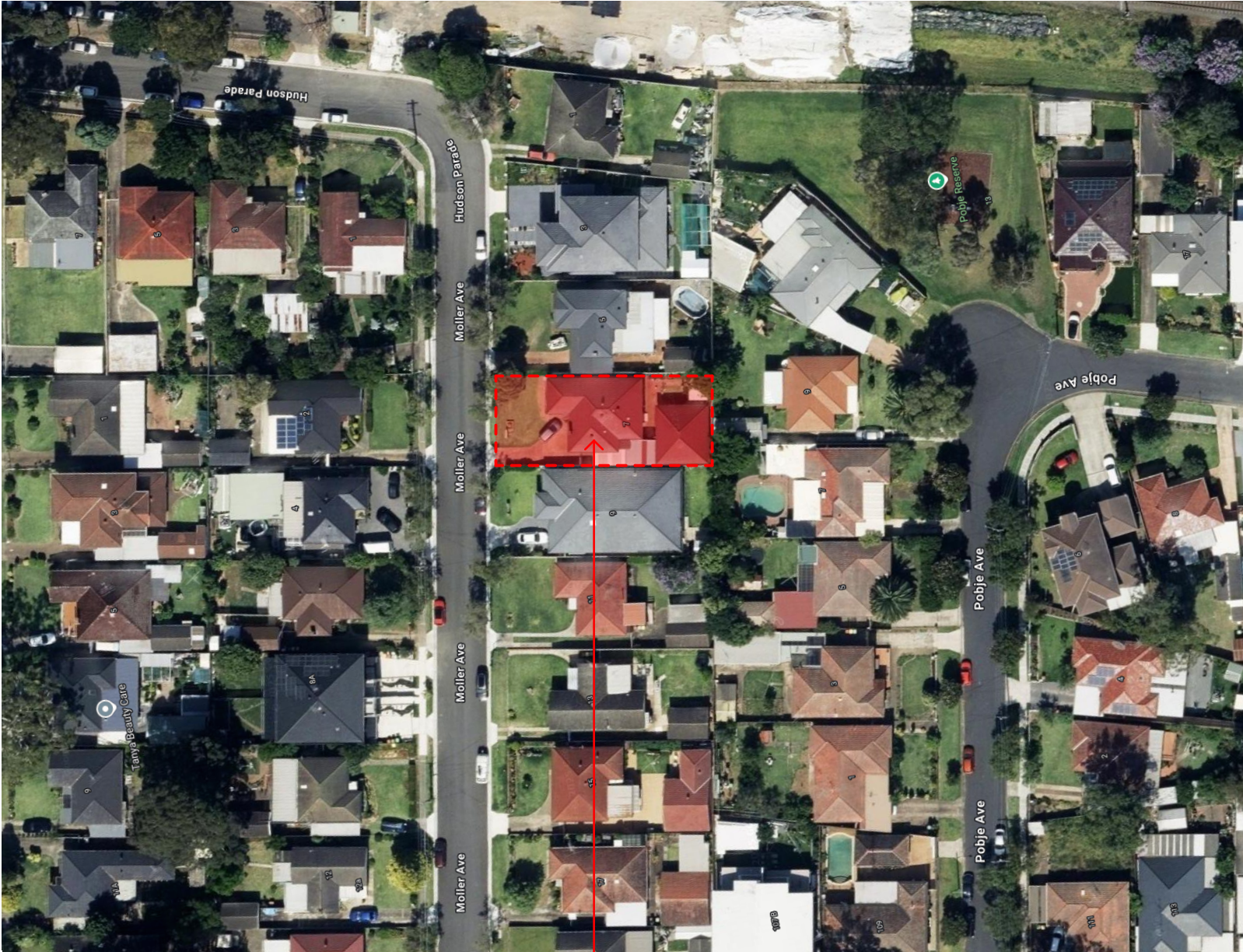
Scale 1:300, 1:100 @ A3	Project No. 24053	Drawn by LL	North ←
Status For Information	Dwg No. DA-000	Rev	



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PROJECT: PROPOSED FREE-STANDING GRANNY FLAT
ADDRESS: 7 MOLLER AVENUE, BIRRONG, NSW 2143

LOT #: 43
DP 19799
SECTION #:



7 MOLLER AVENUE, BIRRONG, NSW 2143

DRAWING LIST

DRAWING.No	DRAWING NAME	REVISION	DATE
DA-000	Notification Plan	A	22.02.25
DA-001	Cover Page	A	22.02.25
DA-002	Basix	A	22.02.25
DA-004	Site Management and Demolition Plan	A	22.02.25
DA-005	Site Analysis	A	22.02.25
DA-006	Site Plan	A	22.02.25
DA-007	Ground Level	A	22.02.25
DA-008	Elevations	A	22.02.25
DA-009	GFA Calculation	A	22.02.25
DA-010	Ground Level	A	22.02.25
DA-011	Elevations	A	22.02.25
DA-012	Sections	A	22.02.25
DA-013	Window Schedule	A	22.02.25
DA-014	Shadow Diagrams	A	22.02.25
DA-015	Material Board	A	22.02.25
DA-016	Perspective 01	A	22.02.25

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CLIENT

Project Title
PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title
GENERAL
Cover Page

Scale 1:1 @ A3	Project No. 24053	Drawn by LL	North
Status For Information	Dwg No. DA-001	Rev	



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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 28 February 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate HR-BWFM2F-02.

Project summary		
Project name	n.SA008_Birrong 7 Moller ave	
Street address	7 MOLLER Avenue BIRRONG 2143	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP19799	
Lot no.	43	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 71	Target 68
Materials	✔ 2	Target n/a

Certificate Prepared by	
Name / Company Name: BIANCA VU NGUYEN	
ABN (if applicable):	

Description of project

Project address		Assessor details and thermal loads	
Project name	n.SA008_Birrong 7 Moller ave	NatHERS assessor number	DMN24/2220
Street address	7 MOLLER Avenue BIRRONG 2143	NatHERS certificate number	HR-BWFM2F-02
Local Government Area	Canterbury-Bankstown Council	Climate zone	56
Plan type and plan number	Deposited Plan DP19799	Area adjusted cooling load (MJ/ m²·year)	16
Lot no.	43	Area adjusted heating load (MJ/ m²·year)	13
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached) - secondary dwelling	Water	✓ 40 Target 40
No. of bedrooms	2	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 71 Target 68
Site area (m²)	520	Materials	✓ 2 Target n/a
Roof area (m²)	61		
Conditioned floor area (m²)	52.9		
Unconditioned floor area (m²)	4.6		
Total area of garden and lawn (m²)	89		
Roof area of the existing dwelling (m²)	167		
Number of bedrooms in the existing dwelling	3		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✓	✓
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction						
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.				✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.						✓
Construction		Area - m²	Insulation			
floor - concrete slab on ground, conventional slab.		57.5	not specified			
external wall: brick veneer; frame: timber - H2 treated softwood.		all external walls	rockwool batts, roll or pump-in+ foil/sarking			
internal wall: plasterboard; frame: timber - untreated softwood.		35.9	none			
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles , timber - H2 treated softwood.		61.4	ceiling: fibreglass batts or roll; roof: foil backed blanket.			

Thermal Performance and Materials commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing						
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.				✓	✓	✓
Frames		Maximum area - m2				
aluminium		20.3				
timber		0				
uPVC		0				
steel		0				
composite		0				
Glazing		Maximum area - m2				
single		20.3				
double		0				
triple		0				

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓

DA plans plans & specs Check			
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
		✓	

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

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CLIENT

Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

GENERAL
Basix

Scale

@ A3

Status

For Information

Project No.

24053

Dwg No.

DA-002

Drawn by

North

LL

Rev



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VEHICLES TO ENTER THE SITE ONTO AREA OF ROAD BASE
AS INDICATED WASHED OFF AS NECESSARY AND LEAVE
THE SITE IN A SAFE MANNER

SEDIMENT CONTROL INSTALLATION SEQUENCE

1. ESTABLISH A SINGLE STABILISED ENTRY/EXIT POINT (RUMBLE PAD).
2. INSTALL SEDIMENT FENCE(S) ALONG THE LOW SIDE OF THE SITE.
3. DIVERT UP-SLOPE WATER AROUND THE WORK SITE AND APPROPRIATELY STABILISE ANY EXPOSED BANKS.
4. CLEAR ONLY THE AREAS NECESSARY (MAINTAINING VEGETATION ON PATHS).
5. STOCKPILE TOPSOIL WITHIN THE SEDIMENT CONTROLLED ZONE.
6. STABILISE EXPOSED EARTH BANKS (FOR EXAMPLE, WITH VEGETATION OR EROSION CONTROL BLANKETS).
7. INSTALL ON SITE WASTE RECEPTACLES (MINI-SKIPS, BINS, WIND-PROOF LITTER RECEPTORS).
8. FALL ROOF DOWNPIPPES AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID.
9. ENSURE THAT ALL CONTROL MEASURES ARE MAINTAINED IN GOOD WORKING ORDER.
10. REVEGETATE OR OTHERWISE STABILISE THE SITE.

STABILISED ENTRY / EXIT POINT
 *MANAGE ENTRY/EXIT POINT (RUMBLE PAD) SO THAT SEDIMENT IS NOT TRACKED OFF THE SITE.
 *RESTRICT SITE ACCESS TO ONE STABILISED LOCATION. RECOMMENDED CONSTRUCTION METHOD FOR STABILISING ACCESS POINTS IS A 150-200 MM DEEP PAD OF MINIMUM 40 MM CRUSHED ROCK. THE PAD SHOULD BE AT LEAST 2 METRES WIDE AND EXTEND FROM THE KERB TO THE BUILDING SLAB.
 *WHERE THE ENTRY/EXIT PAD SLOPES TOWARDS THE ROAD, A 200 MM HIGH BUND (HUMP) SHOULD BE INSTALLED ACROSS THE PAD TO DEFLECT STORMWATER RUN-OFF TO THE SIDE WHERE IT CAN BE FILTERED BY A SEDIMENT FENCE.

SEDIMENT BARRIERS AND FENCES
 *INSTALL GEOTEXTILE SEDIMENT BARRIERS AND FENCES ALONG THE LOWER SIDE OF THE SOIL DISTURBANCE. (WIER/TIED TO STEEL POSTS).
 *THE SUPPORT POSTS ARE SPACED NO GREATER THAN 2 METRES APART AND THE SEDIMENT FENCE BURIED TO A DEPTH OF 200 MM.
 *SEDIMENT BARRIERS NOT BE LOCATED OUTSIDE PROPERTY BOUNDARIES WITHOUT COUNCIL APPROVAL.
 *SEDIMENT BARRIERS ONLY PLACED ON THE ROAD AS A LAST RESORT.
 *HAY BALES COULD BE USED TO RESTRICT THE FLOW OF SEDIMENT-LADEN WATER.

EARTHWORKS

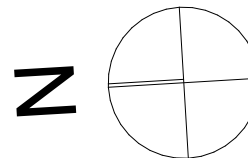
- IMMEDIATELY PRIOR TO BUILDING:
- "MAINTAIN AS MUCH SOIL COVERAGE AS POSSIBLE WITH THE USE OF GRASS, LEAF LITTER AND MULCH (ON HARD BENEDES), GRAVEL OR EROSION CONTROL MATS (ECB) TO PREVENT EROSION."
- "VEGETATION LOCATED DOWN-SLOPE OF THE WORK SITE ASSISTS IN FILTERING OUT SEDIMENT, WHERE PRACTICABLE, MAINTAIN KERB VEGETATION IN A HEALTHY STATE DURING THE BUILDING PROCESS."

STOCKPILES

- "STOCKPILES AND BUILDING MATERIALS SHOULD NOT BE STORED ON THE FOOTPATH OR WITHIN THE ROAD RESERVE, UNLESS PERMISSION OBTAINED FROM LOCAL COUNCIL."
- "MINIMISE STOCKPILE LOSSES WITH THE USE OF COVERS. ALL STOCKPILES AND BUILDING MATERIALS SHOULD BE LOCATED WITHIN THE SEDIMENT CONTROL ZONE (FOR EXAMPLE BEHIND A SILT FENCE)."
- "STOCKPILES NOT TO BE LOCATED WITHIN AN OVERLAND FLOW PATH."

ALL EROSION, SEDIMENT AND DRAINAGE CONTROL MEASURES NEED TO BE REGULARLY CHECKED AND MAINTAINED IN GOOD WORKING ORDER. BEST PRACTICE INCLUDES ANTICIPATION OF POTENTIAL RISKS AND BEING PREPARED FOR ABNORMAL CIRCUMSTANCES AND EMERGENCIES. THESE MEASURES INCLUDE:

- STOCKPILE EXTRA SEDIMENT FENCE FABRIC AND POSTS ONSITE TO FACILITATE EMERGENCY REPAIRS.
- REPAIR (OR REPLACE) SLOPE TIE TO THE ENTRY/EXIT PAD (RUMBLE PAD) IF EXCESSIVE SEDIMENT BUILT-UP OCCURS.
- REPAIR ERODED DRAINAGE CHANNELS WITH ROCK, TURLP OR EROSION CONTROL BLANKETS OR MATTING.
- ENSURE BULTING UP SEDIMENT IS REMOVED AT REGULAR INTERVALS FROM SEDIMENT BARRIERS.
- CHECK BARRIERS AND REPLACE BARRIERS DAILY IF THEY ARE RIPPED, DAMAGED OR NO LONGER ANCHORED.



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PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Siteworks

Site Management and Demolition Plan

For Information

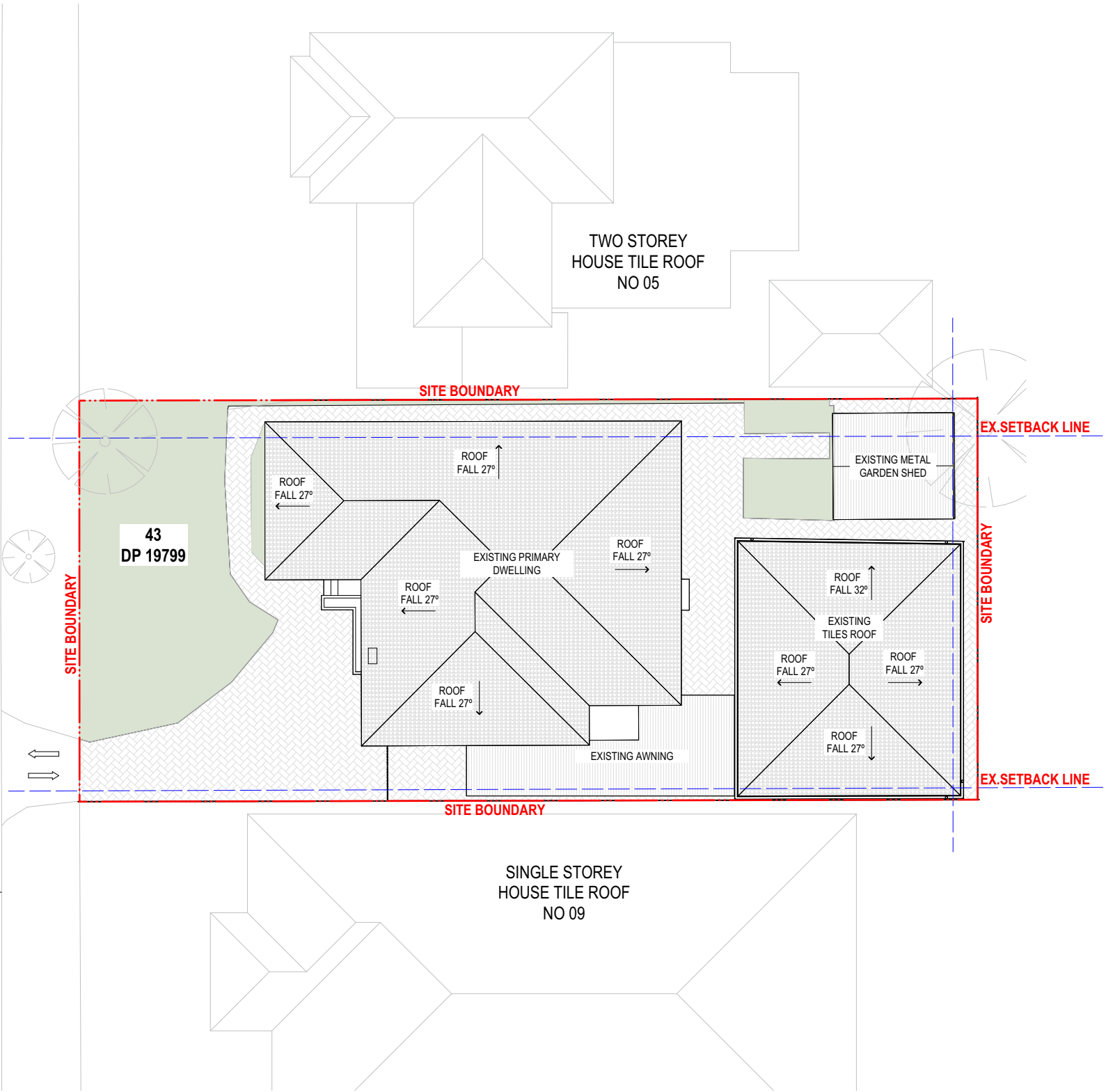
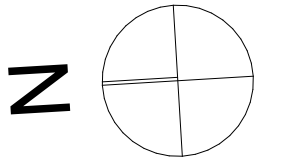
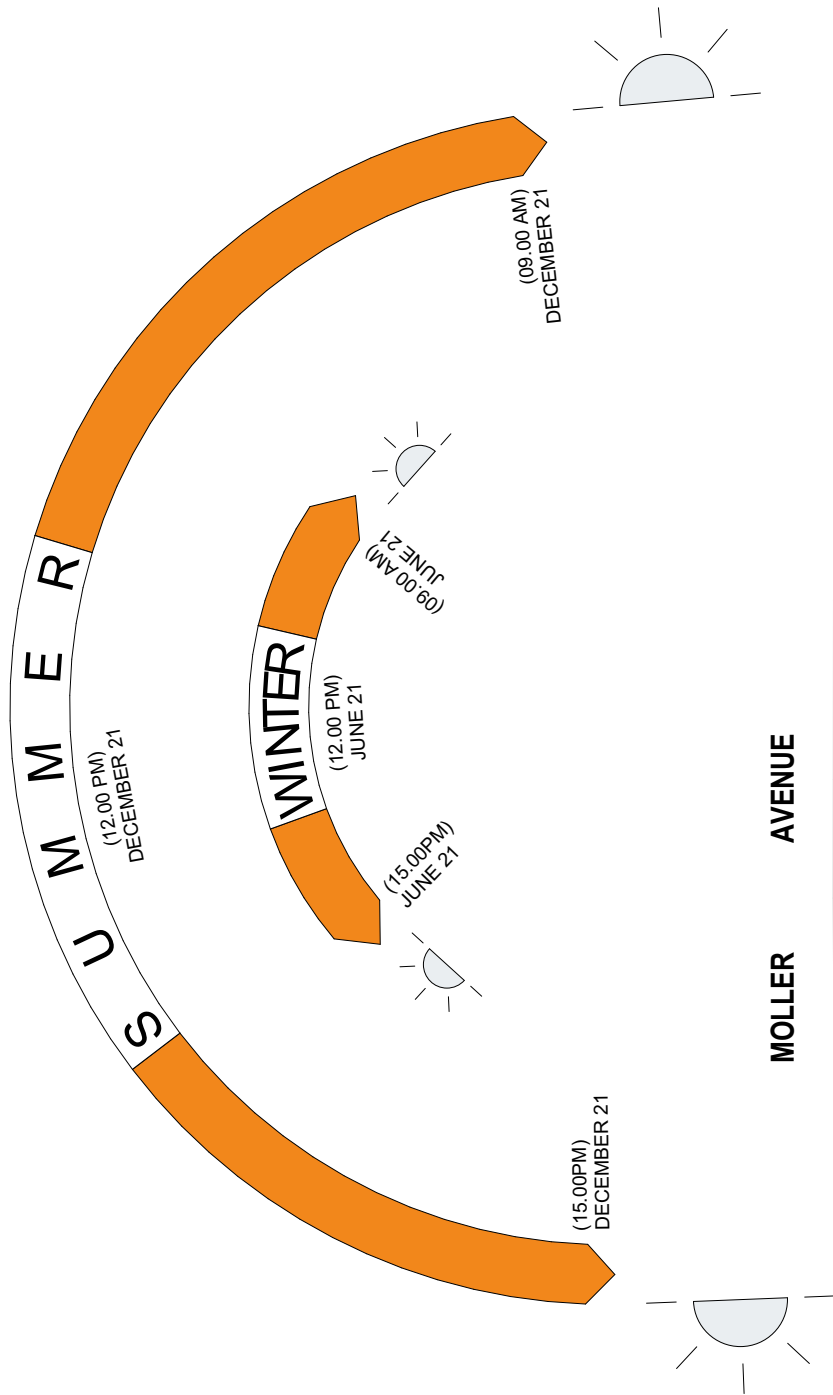
DA-004

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CLIENT

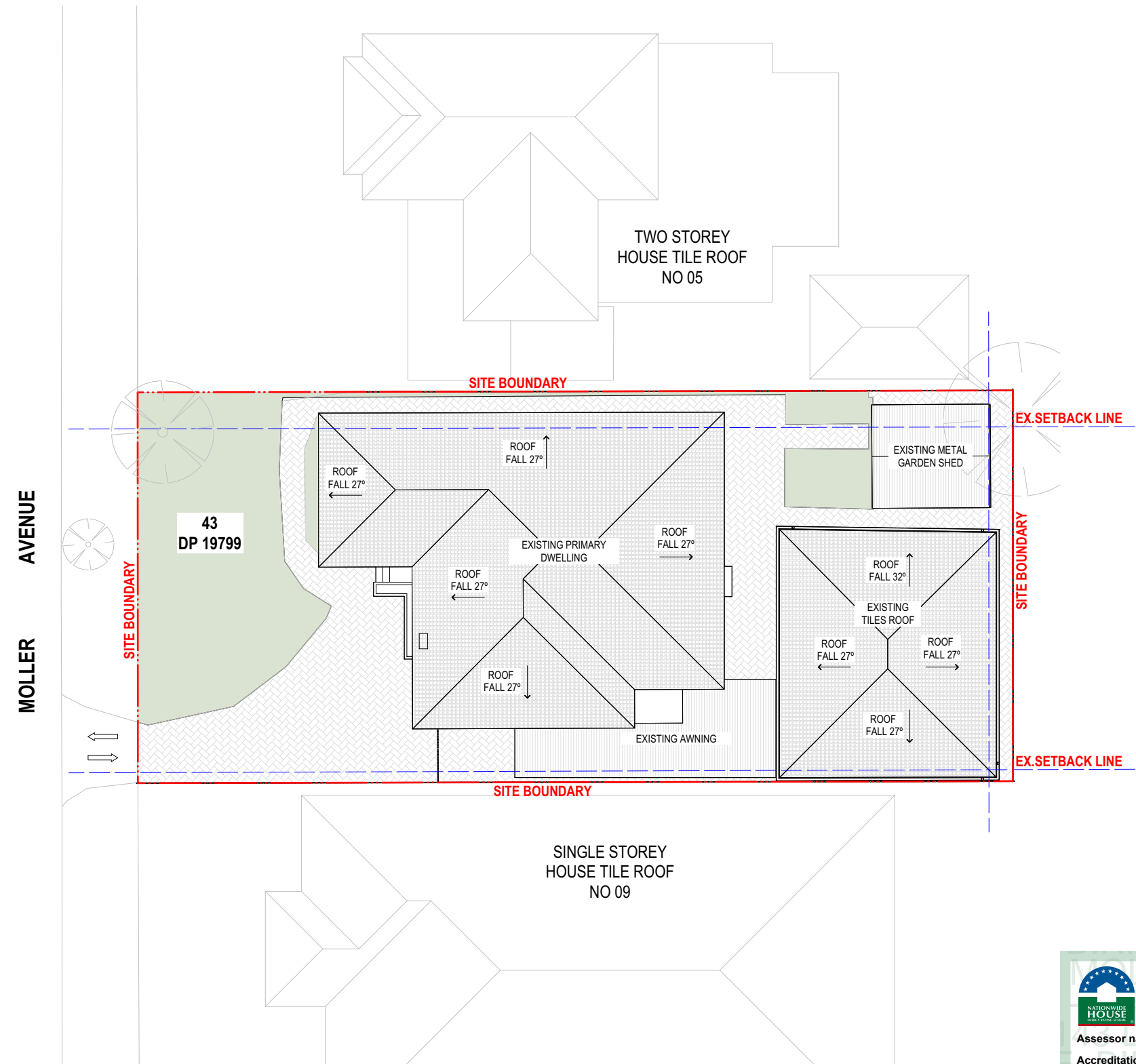
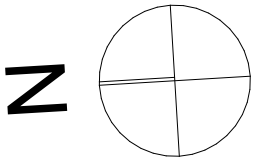
Project Title
PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title
Siteworks
Site Analysis

Scale 1:200 @ A3	Project No. 24053	Drawn by LL	North ←
Status For Information	Dwg No. DA-005	Rev	



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Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

Siteworks
Site Plan

Scale

1:200 @ A3

Status

For Information

Project No.

24053

Dwg No.

DA-006

Drawn by

LL

Rev

North



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Certificate No. #HR-BWFM2F-02

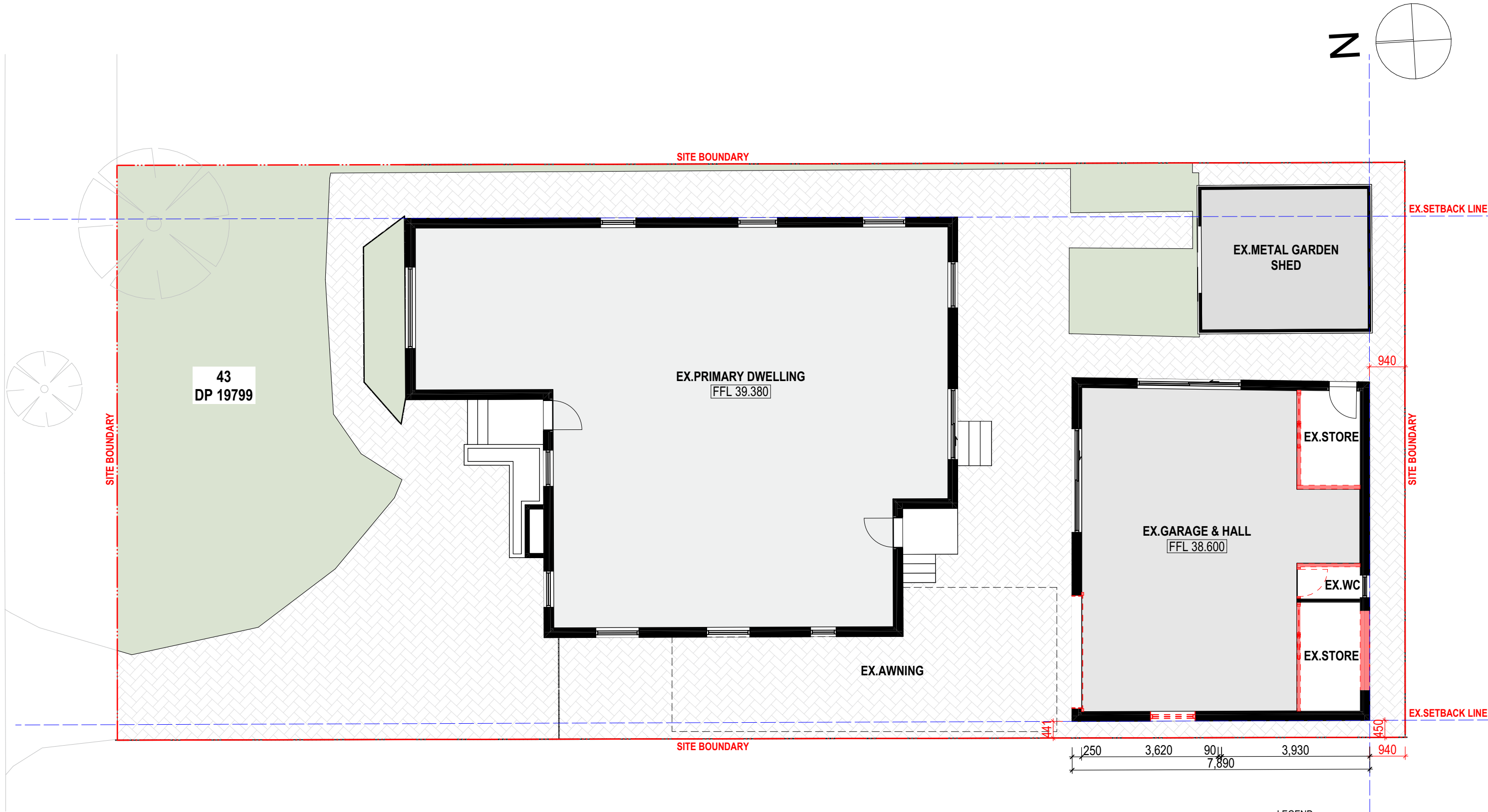
Scan QR code or follow website link for rating details.

Assessor name Bianca Nguyen

Accreditation No. DMN/24/2220

Property Address 7 MOLLER AVENUE,
BIRRONG, NSW, 2143

<http://www.hero-software.com.au/pdf/HR-BWFM2F-02>



LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING

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CLIENT

Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

Existing / Demolition Plans
Ground Level

Scale	Project No.	Drawn by	North
1:100 @ A3	24053	LL	
Status	Dwg No.	Rev	
For Information	DA-007		



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Certificate No. #HR-BWFM2F-02
Scan QR code or follow website link for rating details.

Assessor name

Bianca Nguyen

Accreditation No.

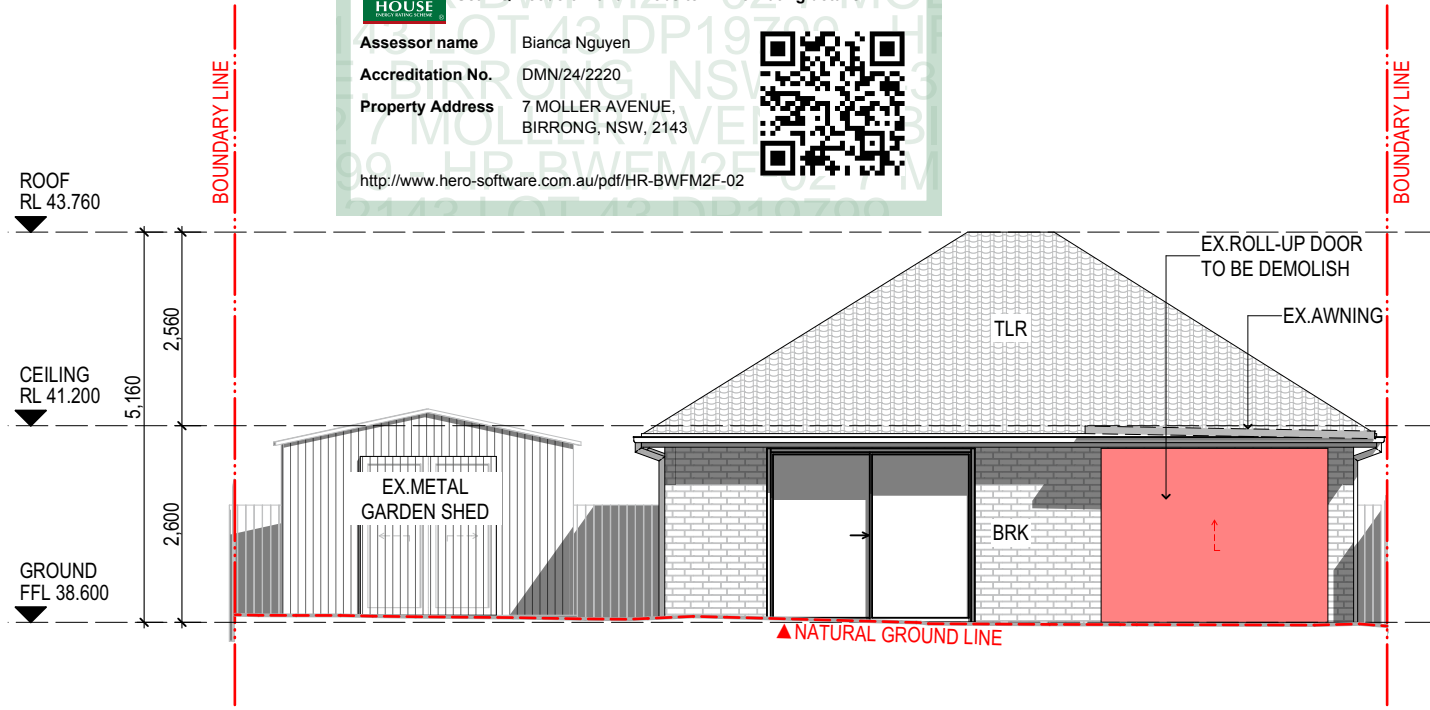
DMN/24/2220

Property Address

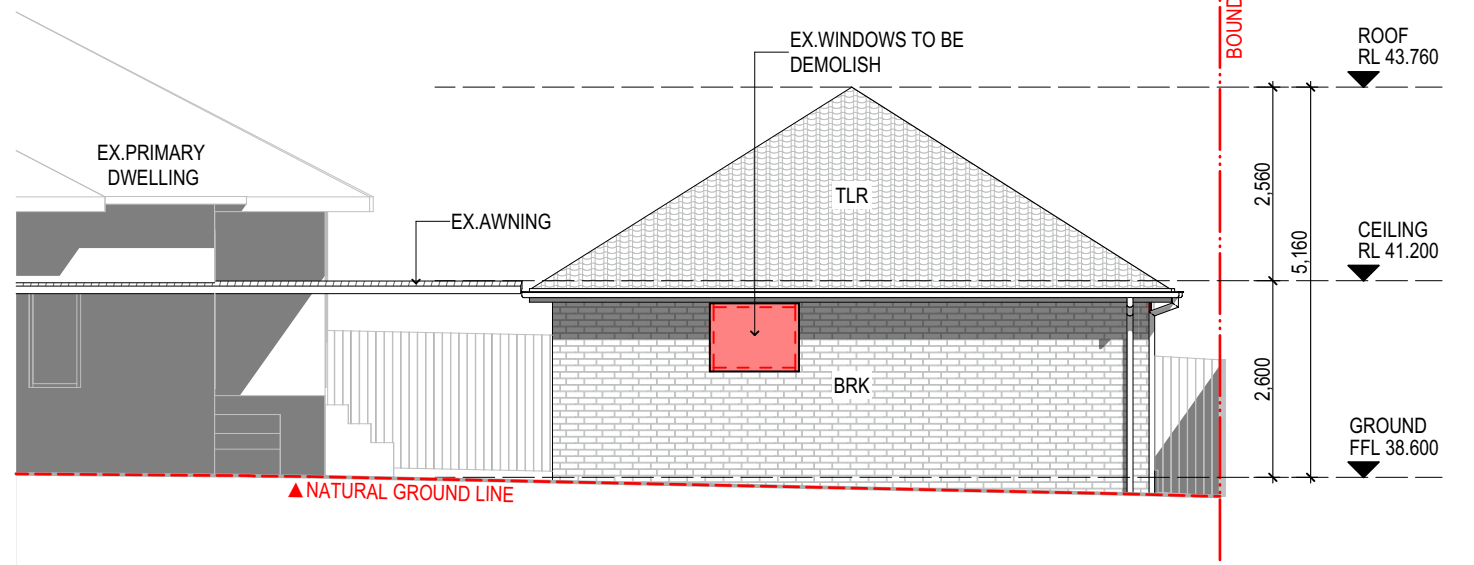
7 MOLLER AVENUE,
BIRRONG, NSW, 2143

http://www.hero-software.com.au/pdf/HR-BWFM2F-02

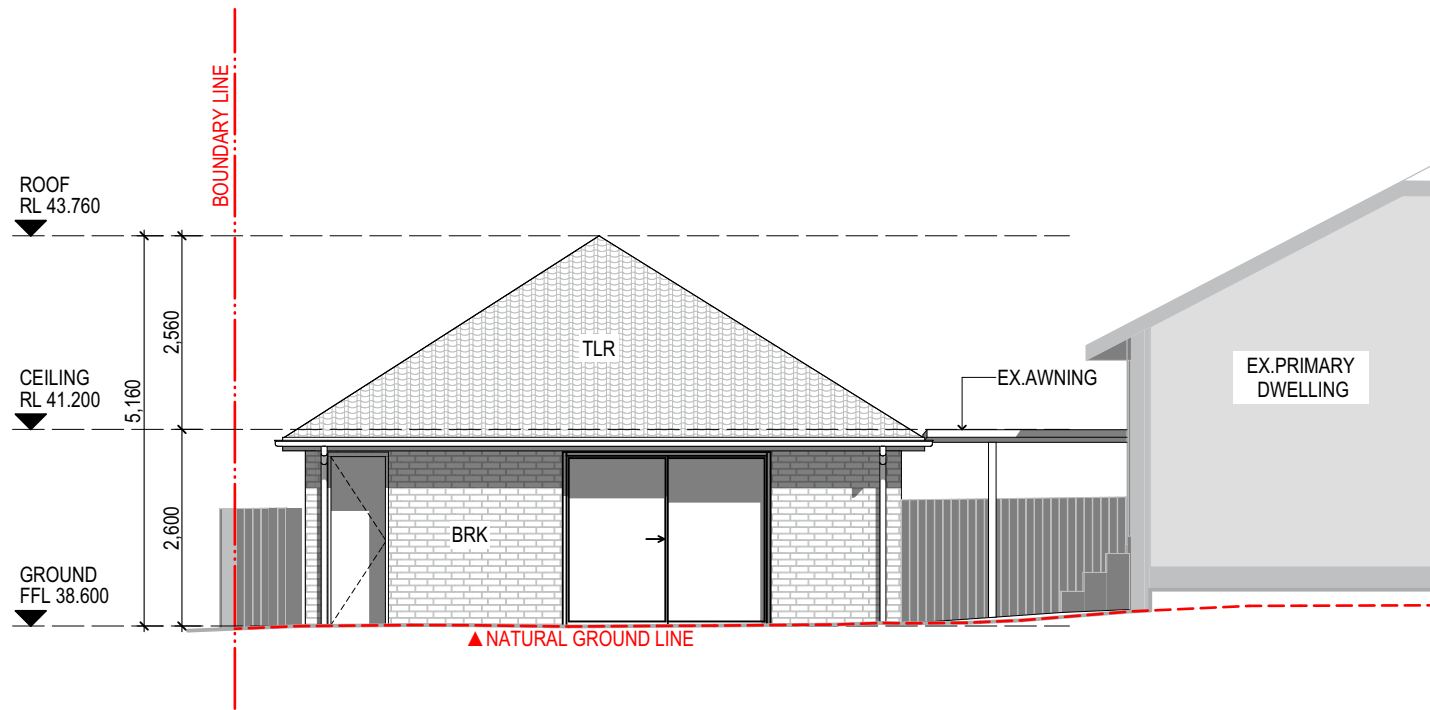




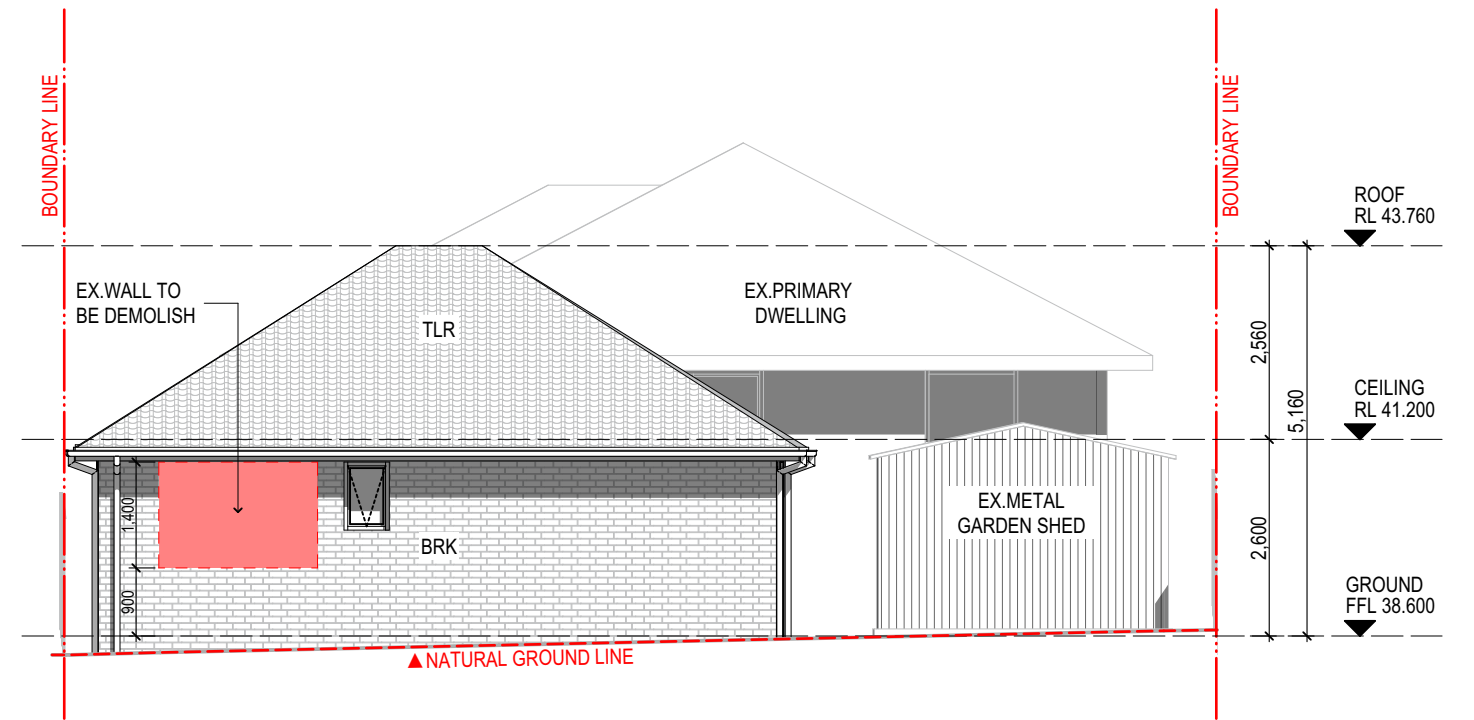
1 North Elevation
1:100





3 West Elevation
1:100



2 East Elevation
1:100



4 South Elevation
1:100

LEGEND	
	EXISTING TO BE DEMOLISHED
	EXISTING

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Project Title
**PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143**

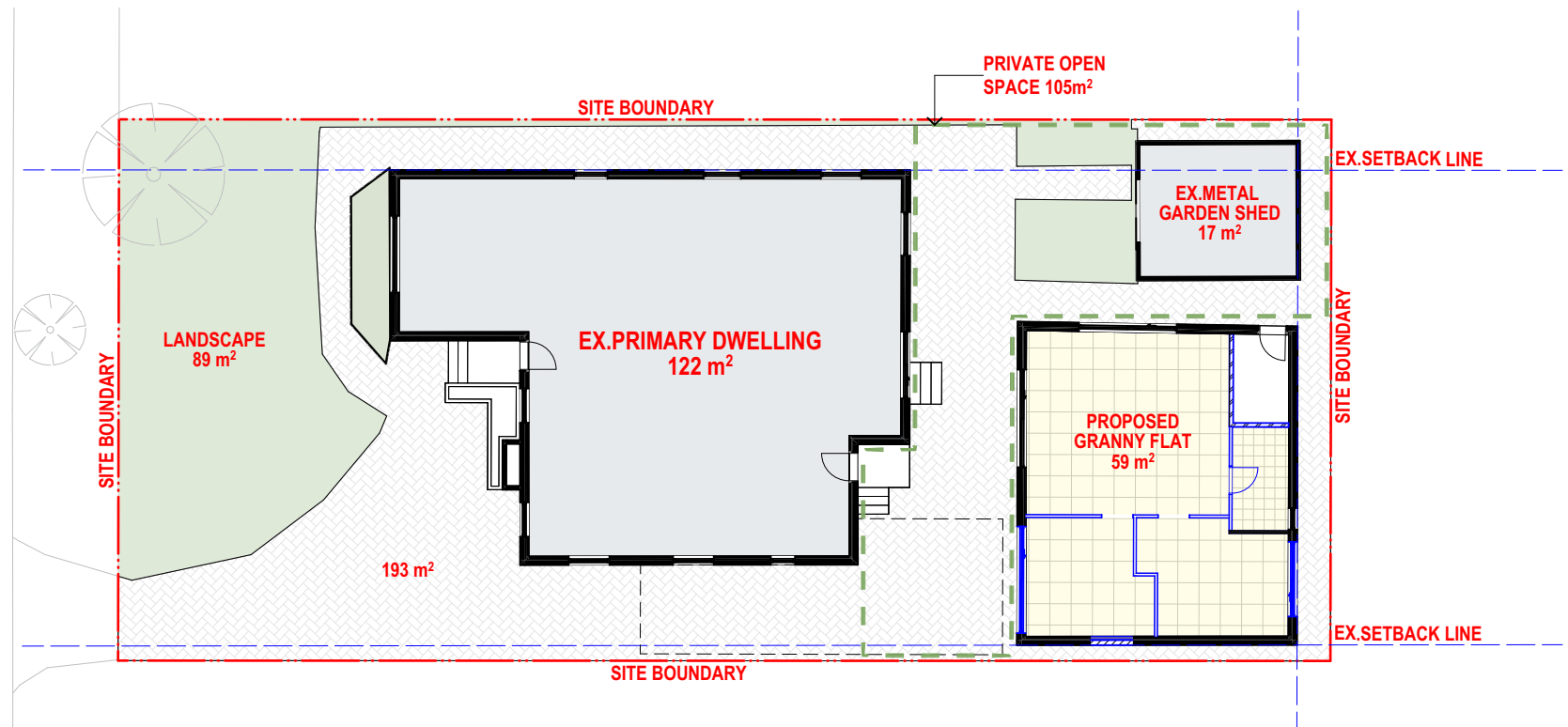
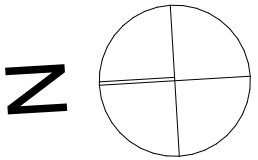
Drawing Title
**Existing / Demolition Elevations
Elevations**

Scale 1:100 @ A3	Project No. 24053	Drawn by North
Status For Information	Dwg No. DA-008	Rev LL



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GROUND LEVEL

GFA CALCULATION

SITE AREA:	518.5 m ²
PERMISSIBLE GFA:	259.25 m ² OR 0.5:1
EXISTING GFA:	122 m ²
PROPOSED GFA:	59 m ²
TOTAL GFA	181 m ²

PRIVATE OPEN SPACE:	105m ² (COMPLY)
REQUIRE:	80 m ²

	SOFT LANDSCAPE
	HARD STAND

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Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

GFA Calculation
GFA Calculation

Scale

1:200 @ A3

Status

For Information

Project No.

24053

Dwg No.

DA-009

Drawn by

LL

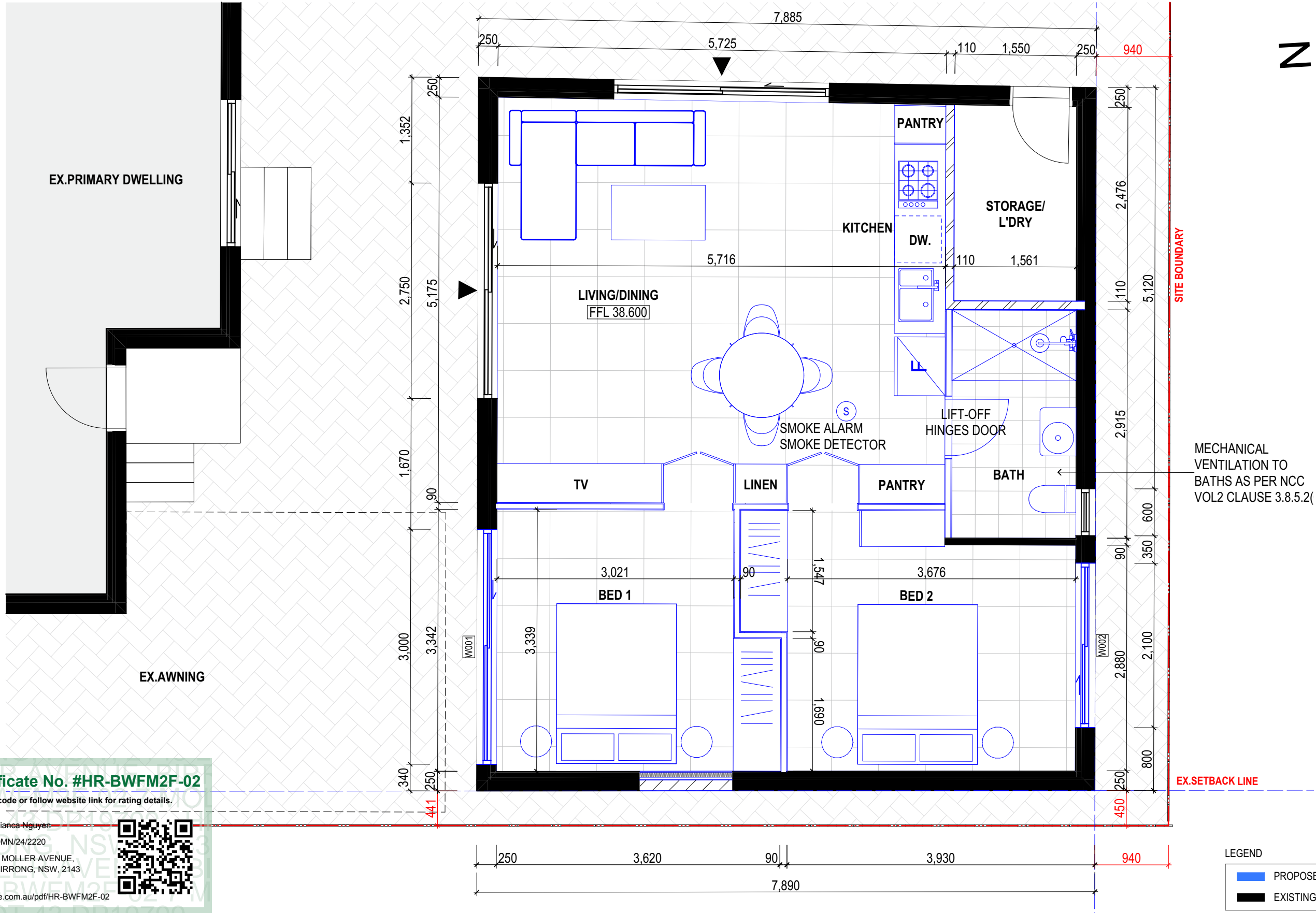
Rev

North




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Accreditation No.: DMN/24/2220
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Project Title

**PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143**

Drawing Title

**GA Plans
Ground Level**

Scale

1:50 @ A3

Status

For Information

Project No.

24053

Dwg No.

DA-010

Drawn by

LL

Rev

A

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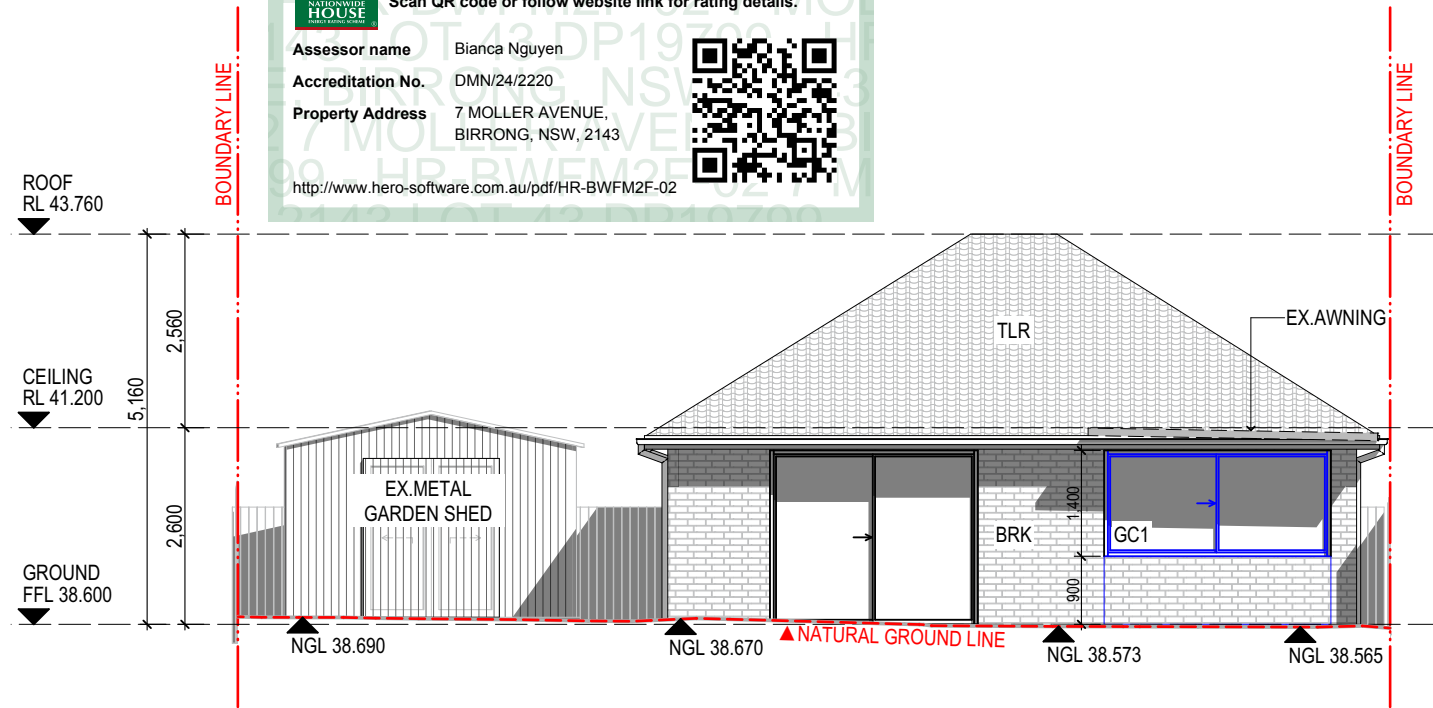
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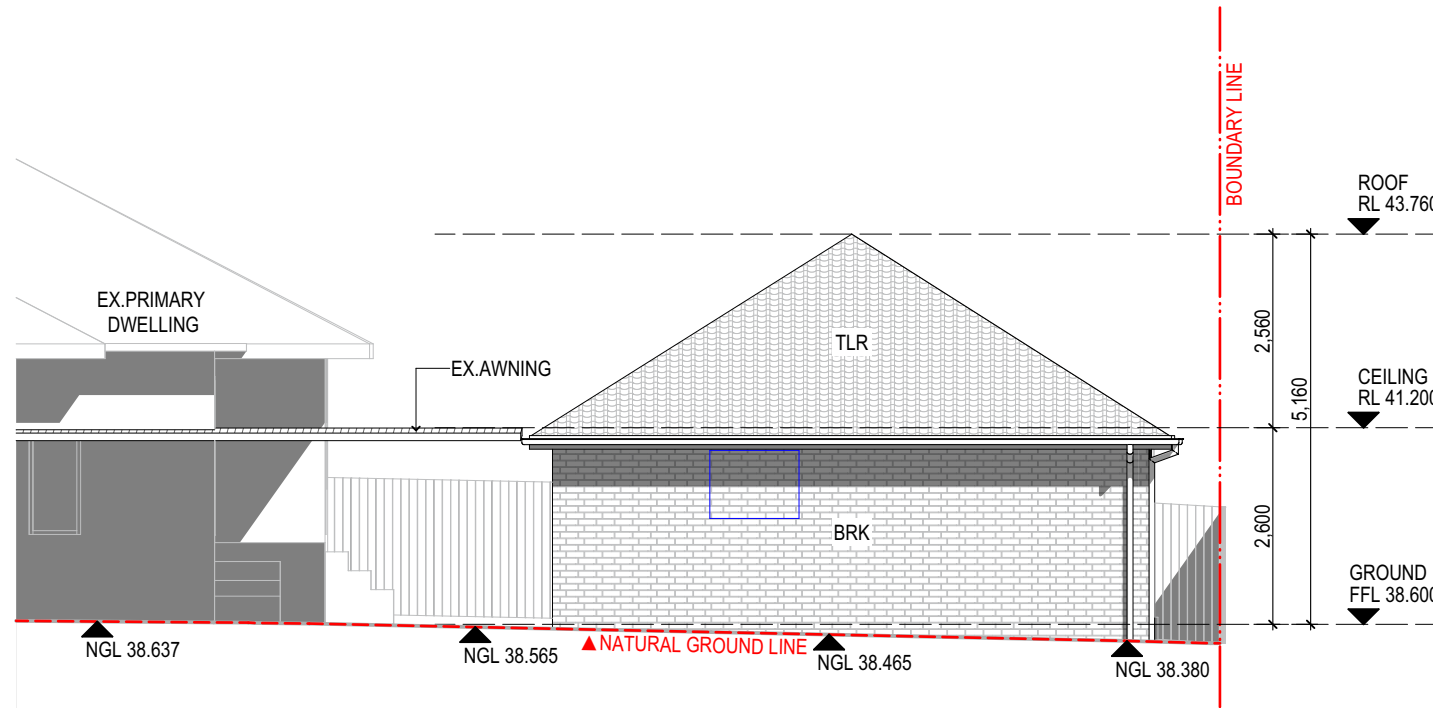
Assessor name Bianca Nguyen
Accreditation No. DMN/24/2220
Property Address 7 MOLLER AVENUE,
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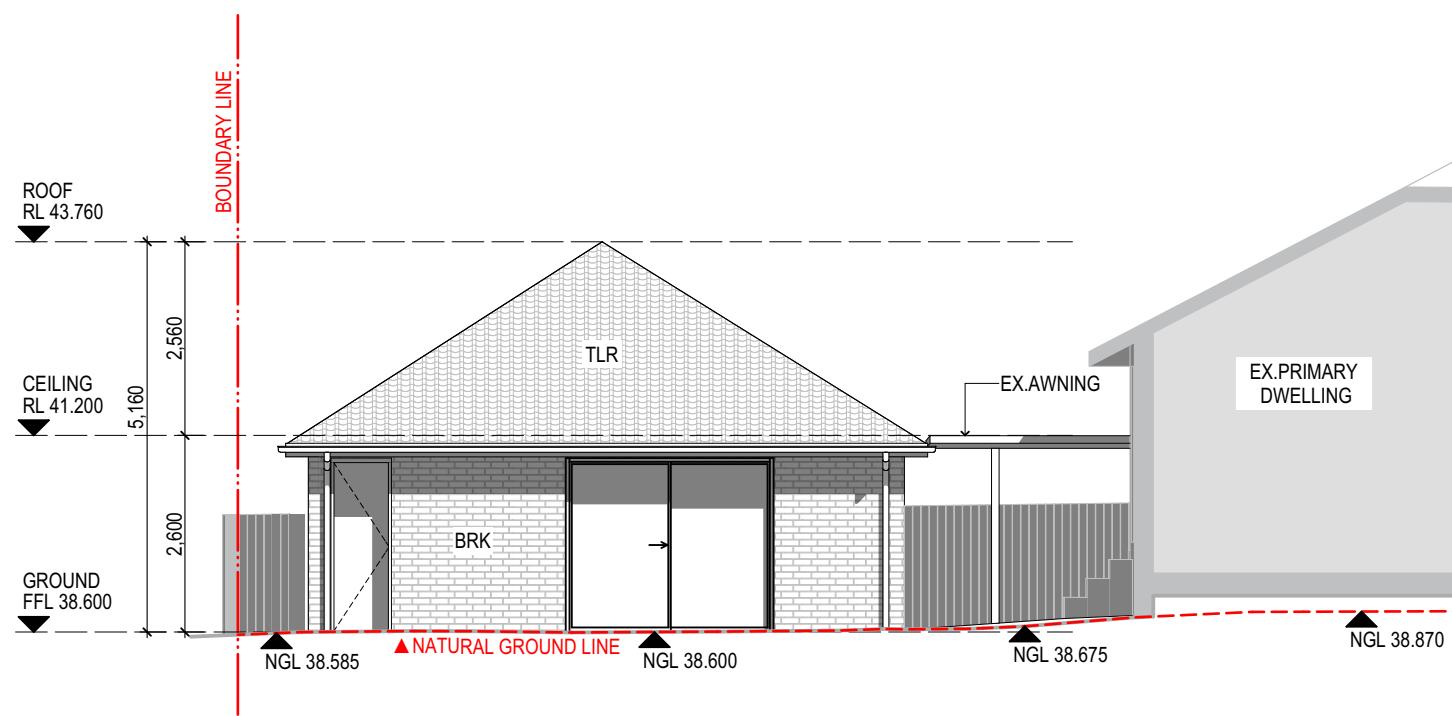
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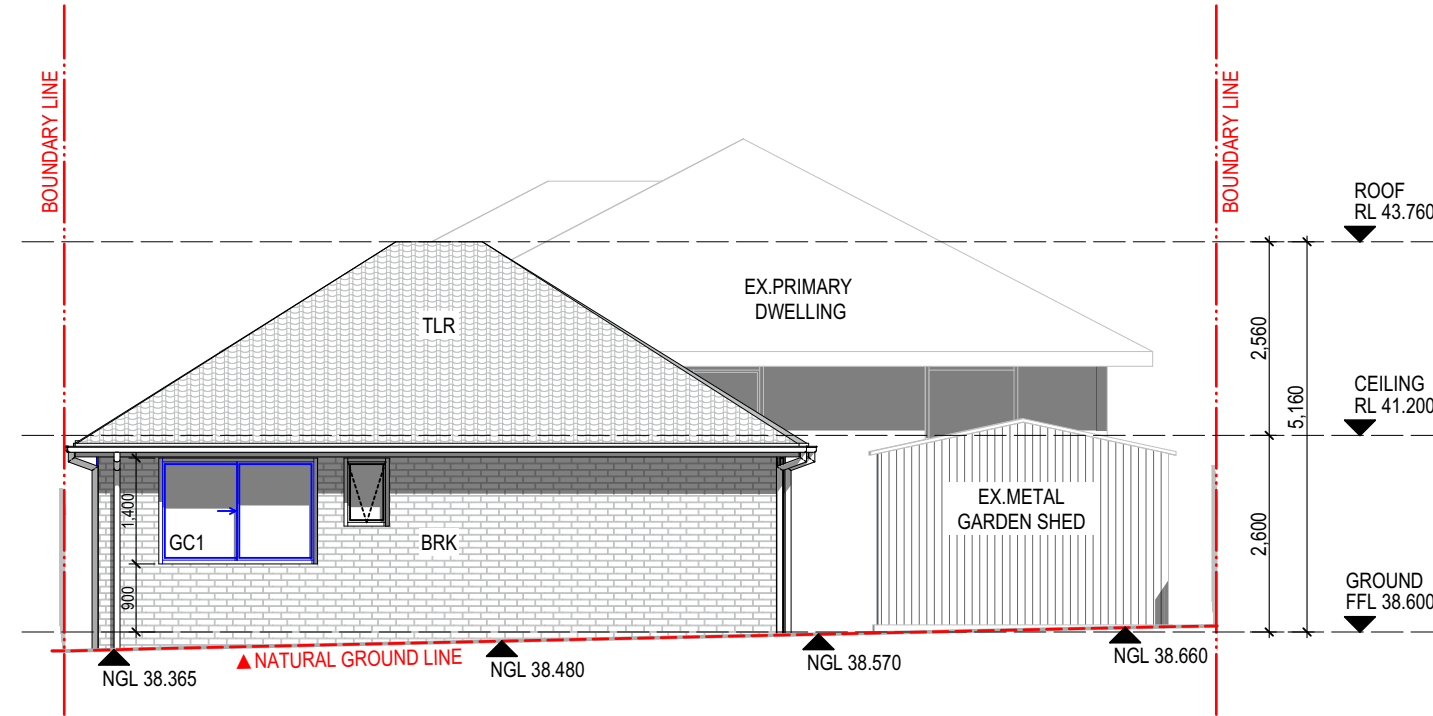
1
-
North Elevation
1:100



3
-
West Elevation
1:100



2
-
East Elevation
1:100



4
-
South Elevation
1:100

LEGEND

- PROPOSED NEW
- EXISTING

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Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

GA Elevations
Elevations

Scale

1:100 @ A3

Status

For Information

Project No.

24053

Dwg No.

DA-011

Drawn by

North

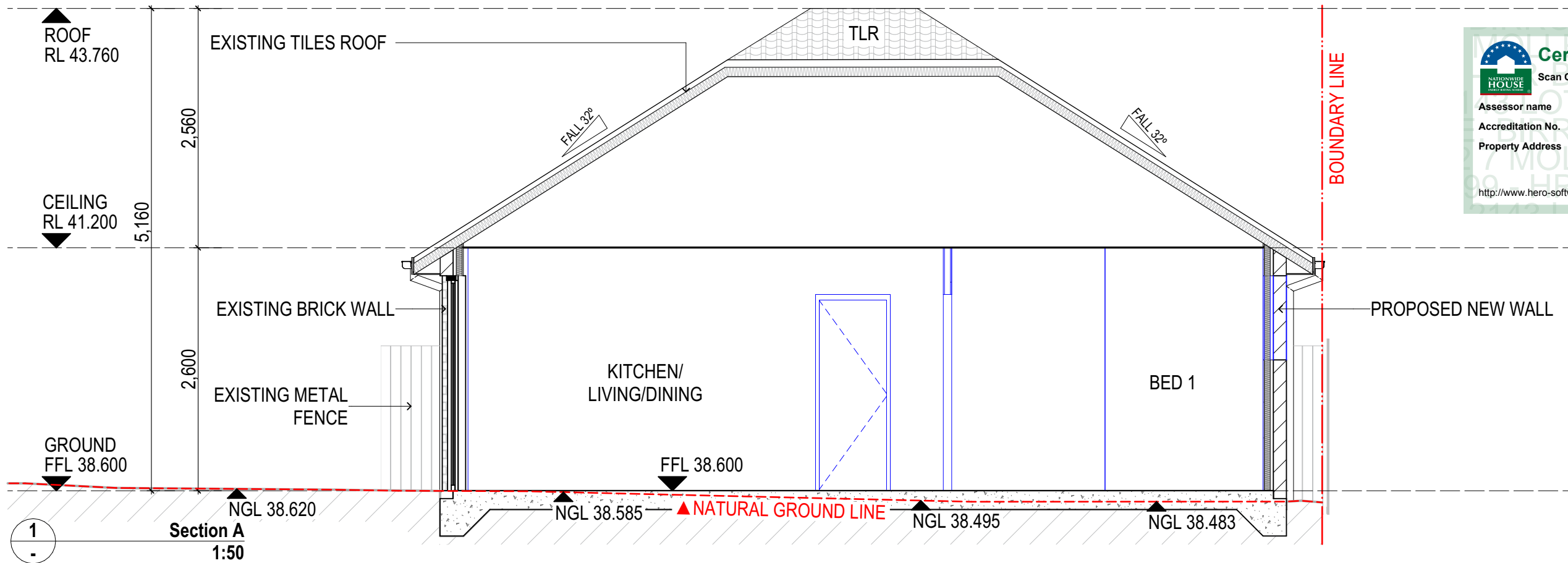
LL

Rev



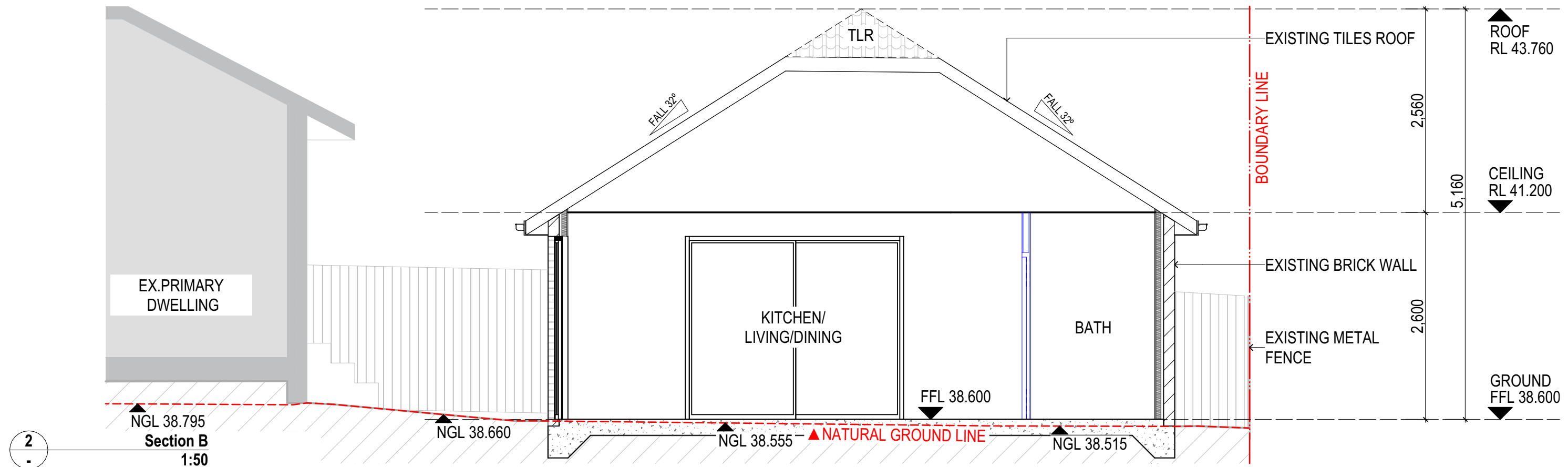
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Project Title
**PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143**

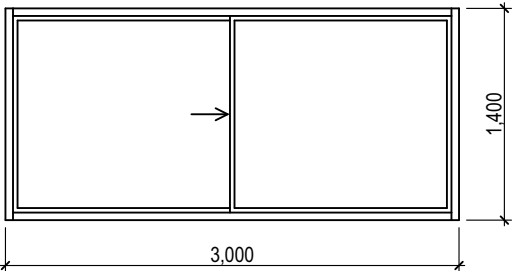
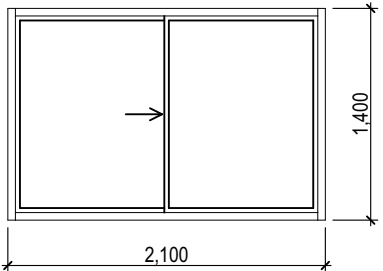
Drawing Title
**GA Sections
Sections**

Scale 1:50 @ A3	Project No. 24053	Drawn by North
Status For Information	Dwg No. DA-012	Rev LL



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ID	W001	W002
Quantity	1	1
Nominal W x H Size	3,000×1,400	2,100×1,400
Note		
View from Reveal Side		

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Project Title

PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title

600 Window Schedule
Window Schedule



Certificate No. #HR-BWFM2F-02


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Assessor name Bianca Nguyen

Accreditation No. DMN/24/2220

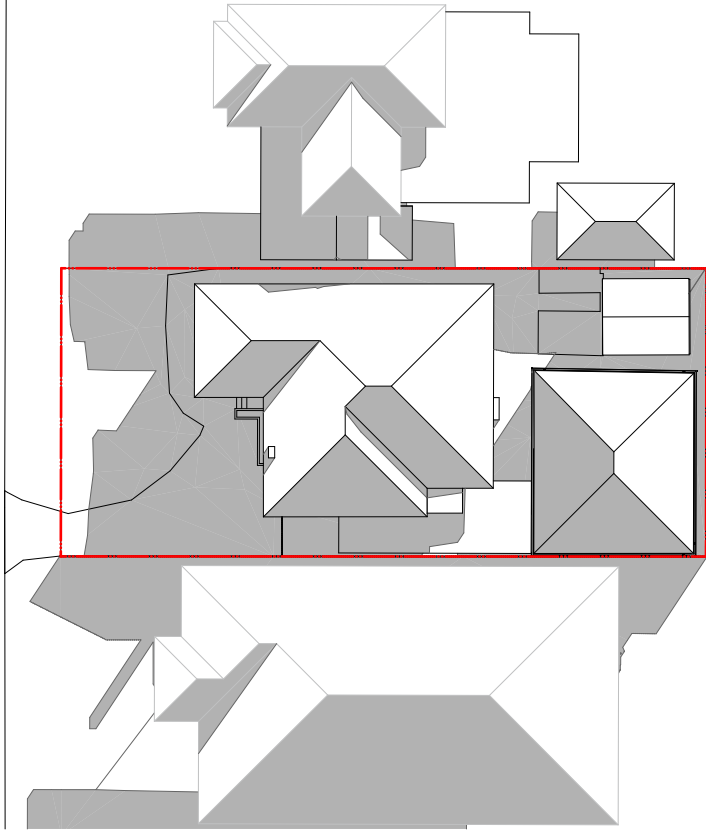
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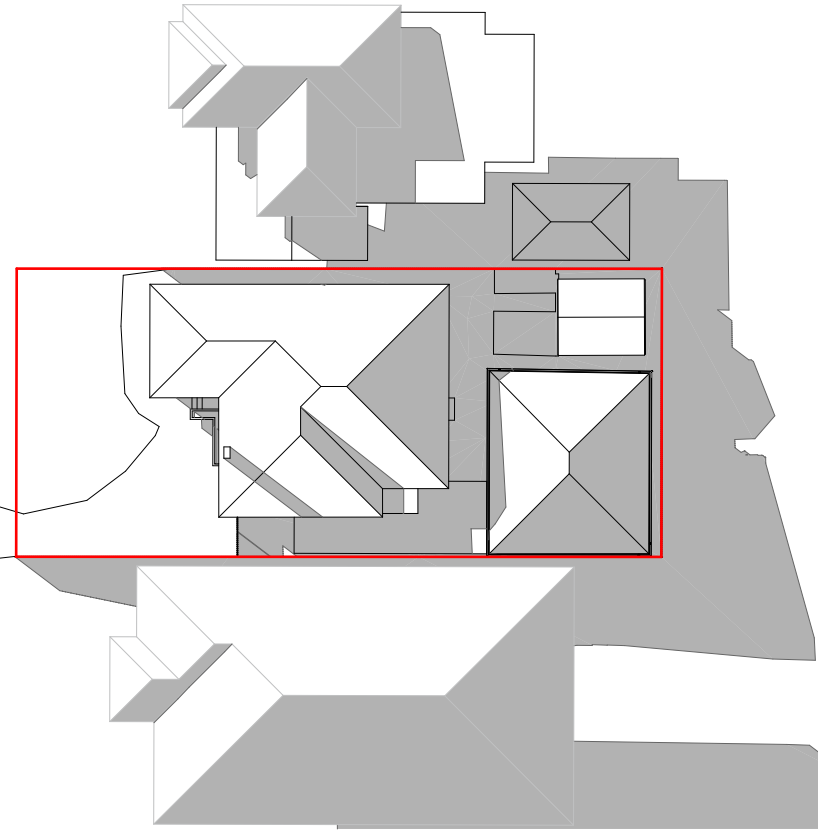


Scale	Project No.	Drawn by	North
1:1 @ A3	24053	LL	
Status	Dwg No.	Rev	
For Information	DA-013	A	

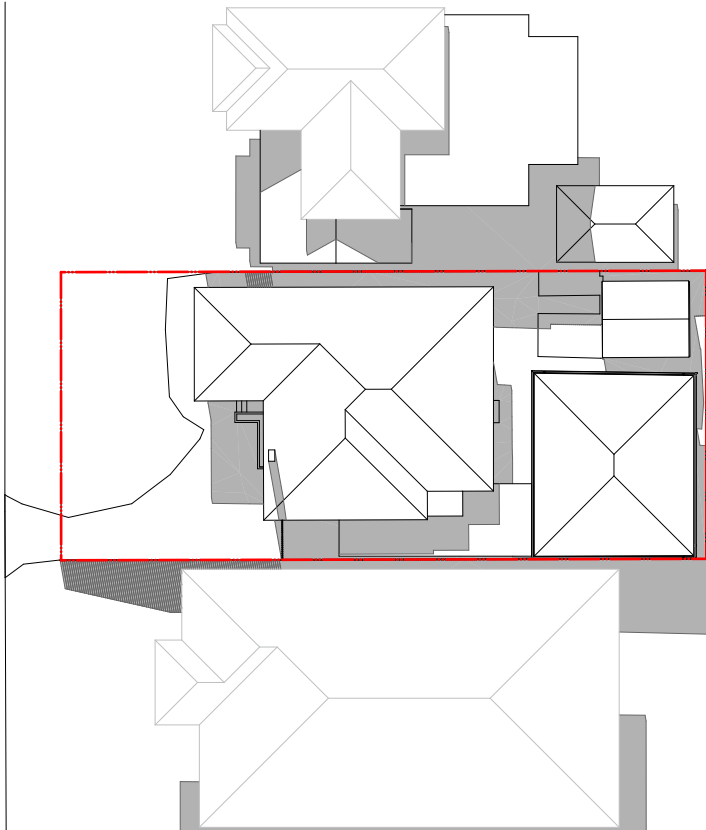




Jun 21 - 9AM - WINTER SOLSTICE



Jun 21 - 3PM - WINTER SOLSTICE



Jun 21 - 12PM - WINTER SOLSTICE

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Project Title
**PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143**

Drawing Title
**Shadow Diagrams
Shadow Diagrams**

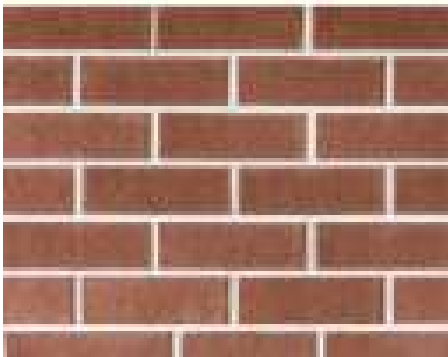
Existing building footprint and height. No additional shadow

Scale 1:400 @ A3	Project No. 24053	Drawn by LL	North
Status For Information	Dwg No. DA-014	Rev	



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BRK-BRICKVENEER




TLR - MONIER ROOF TILES

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Project Title
PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title
Material Board
Material Board


**Certificate No. #HR-BWFM2F-02**
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Assessor name
Bianca Nguyen

Accreditation No.
DMN/24/2220

Property Address
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BIRRONG, NSW, 2143

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Scale	Project No.	Drawn by	North
1:186.69 @ A3	24053	LL	
Status	Dwg No.	Rev	
For Information	DA-015		



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Project Title
PROPOSED FREE-STANDING GRANNY FLAT
7 MOLLER AVENUE, BIRRONG, NSW 2143

Drawing Title
3D Views
Perspective 01

Scale @ A3	Project No. 24053	Drawn by LL	North
Status For Information	Dwg No. DA-016	Rev	



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